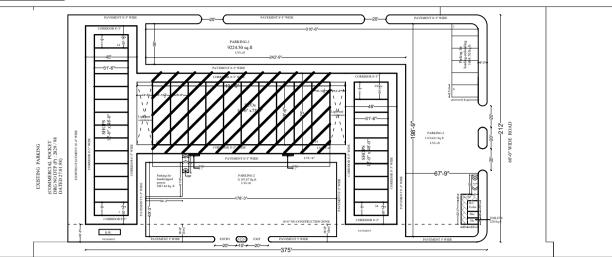


ARCHITECTURAL CONTROL SHEET OF SCO'S OPPOSITE INFOTECH ACADEMY (SBI) IN URBAN ESTATE , PHASE -2, PART 2, PATIALA. (BASED ON PUPD BUILDING RULES 2021)



Drawing Title - Basement & Ground Floor plan, Front Elevation of SCO's

S.NO.	DESCRIPTION	NOS.	SIZE	Maximum Permissible F.A.R	Maximum No. of Storeys Allowed	GROUND COVERAGE	Area		
1.	SCOs	SCOs	SCOs	SCOs 2	16'-10.5''X75'-0''	1.2	CIA	1000/	1265.625 SQ. FT (117.58 SQ. M.)
		8	16'-6'' X 75'-0''	1:3	G+2	100%	9900 SQ. FT. (919.73 SQ.M.)		
	TOTAL	10					11165.625 SQ. FT (1037.31 SQ. M.)		

1. AREA OF SCO (16'-6" X 75'-0") = 1237.50 sqft

2. COVRD. AREA ON BASEMENT = 965.25 saft

- 3. COVRD. AREA ON GROUND FLOOR = 1237.50 sqft (100%)
- 4. COVRD. AREA ON FIRST FLOOR = 1237.50 sqft (100%) 5. COVRD. AREA ON SECOND FLOOR = 1237.50 sqft (100%)
- 6. COVRD. AREA ON MUMTY =148.625 sqft
- 7. TOTAL COV. AREA = 965.25+ 1237.50+ 1237.50 + 1237.50 +148.625 = 4826.375sqft (448.55 SQM)
- 8. TOTAL FAR AREA = 1237.50+ 1237.50 + 1237.50 = 3712.50 sqft (345.03 sqm)
- 9. AREA OF SCO (16'-10.5"X75'-0") = 1265.625 sqft
- 10. COVRD. AREA ON BASEMENT = 987.19 sqft
- 11. COVRD. AREA ON GROUND FLOOR = 1265.625 sqft (100%)
- 12. COVRD. AREA ON FIRST FLOOR = 1265.625 sqft (100%)
- 13. COVRD. AREA ON SECOND FLOOR = 1265.625 sqft (100%)
- 14. COVRD. AREA ON MUMTY =148.625 sqft
- 15. TOTAL COV. AREA = 987.19+1265.625 +1265.625+1265.625+148.625 = 4932.69 sqft (458.43 sqm)
- 16. TOTAL FAR AREA = 1265.625 +1265.625 +1265.625 = 3796.875 sqft (352.87 sqm)
 - THIS ARCHITECTURAL CONTROL SHEET HAS BEEN PREPARED AS PER THE REQUEST RECEIVED FROM EO.PDA.PATIALA VIDE LETTER NO.- 3402 DATED-03.02.2025 & IS APPLICABLE FOR SCO'S OPPOSITE INFOTECH ACADEMY (SBI) IN URBAN ESTATE, PHASE -2, PART 2, PATIALA, DRG NO. D.T.P.(P) 3881/2025, DATED:- 06.02.2025.
 - . THIS DRAWING IS THE PROPERTY OF DEPARTMENT OF TOWN AND COUNTRY PLANNING.NO CHANGES OR COPYING IS ALLOWED WITHOUT PRIOR APPROVAL FROM THE COMPETENT AUTHORITY.
- 3. THE HEIGHT OF EACH FLOOR SHALL BE AS PER THIS DRAWING.
- THE INTERNAL CHANGES ARE PERMISSIBLE AS MAY BE SANCTIONED BY COMPETENT AUTHORITY. ALL INTERNAL PARTITIONS ARE OPTIONAL WITHOUT CHANGES IN LEVELS OR OFFSET IN ROOF SLAB AND CUTOUTS.
- . NO DEVIATION OF ANY FACADE SHALL BE PERMITTED. THE MATERIAL FINISHES ON THE FACADES CAN BE VARIED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.
- 6. CHANGE IN SIZE & SHAPE OF WINDOWS OF EXTERNAL FACADES IS ALLOWED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.
- Y. NO ENCROACHMENT SHALL BE ALLOWED IN THE PUBLIC VERANDAH.
- THE ELECTRIC AND TELEPHONIC CONNECTIONS FROM THE MAIN LINE SHALL BE PROVIDED BY UNDER GROUND
- 9. THE MINIMUM SIZE OF THE STRUCTURAL ELEMENTS (SLABS,COLUMNS,BEAMS) HAVE BEEN SHOWN IN THE DRAWING. THE STRUCTURAL STABILITY IS THE RESPONSIBILITY OF THE PLOT HOLDER/ PRIVATE ARCHITECT.
- 10. ALL SANITARY AND WATER PIPES SHALL BE EMBEDDED IN THE WALLS.
- 11. BK. FACE SHALL BE PROVIDED WITH $\frac{3}{8}$ " DEEP REGULAR HORIZONTAL & VERTICAL NEATLY FINISHED JOINTS.
- 12. SHUTTERING PATTERN SHALL BE PROVIDED ON ALL R.C.C. EXPOSED WORK i.e. COLUMNS, PARAPETS FACIA AND UNDER THE SLABS, BEAMS, PROJECTION AS PER DRG.
- 13. NO ADVERTISEMENT SHALL BE PERMITTED ON PLACES OTHER THAN STIPULATED.
- 14. THE CONSTRUCTED SCO MUST HAVE OBTAINED THE PLINTH LEVEL FROM PUDA.
- 15. ONLY QUALIFIED REGISTERED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS, SUPERVISE CONSTRUCTION WORK AND ISSUE COMPLETION CERTIFICATES.
- 16. POSITION OF THE STAIRCASE CAN BE VARIED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.

DEPARTMENT OF TOWN & COUNTRY PLANNING, PUNJAB

Drawing no. DTP(P) - 3884/2025 Dated:- 17.03.2025 Scale - 1"=1'-0" Sheet No.-1/6 CHECKED BY:

PLANNING OFFICER

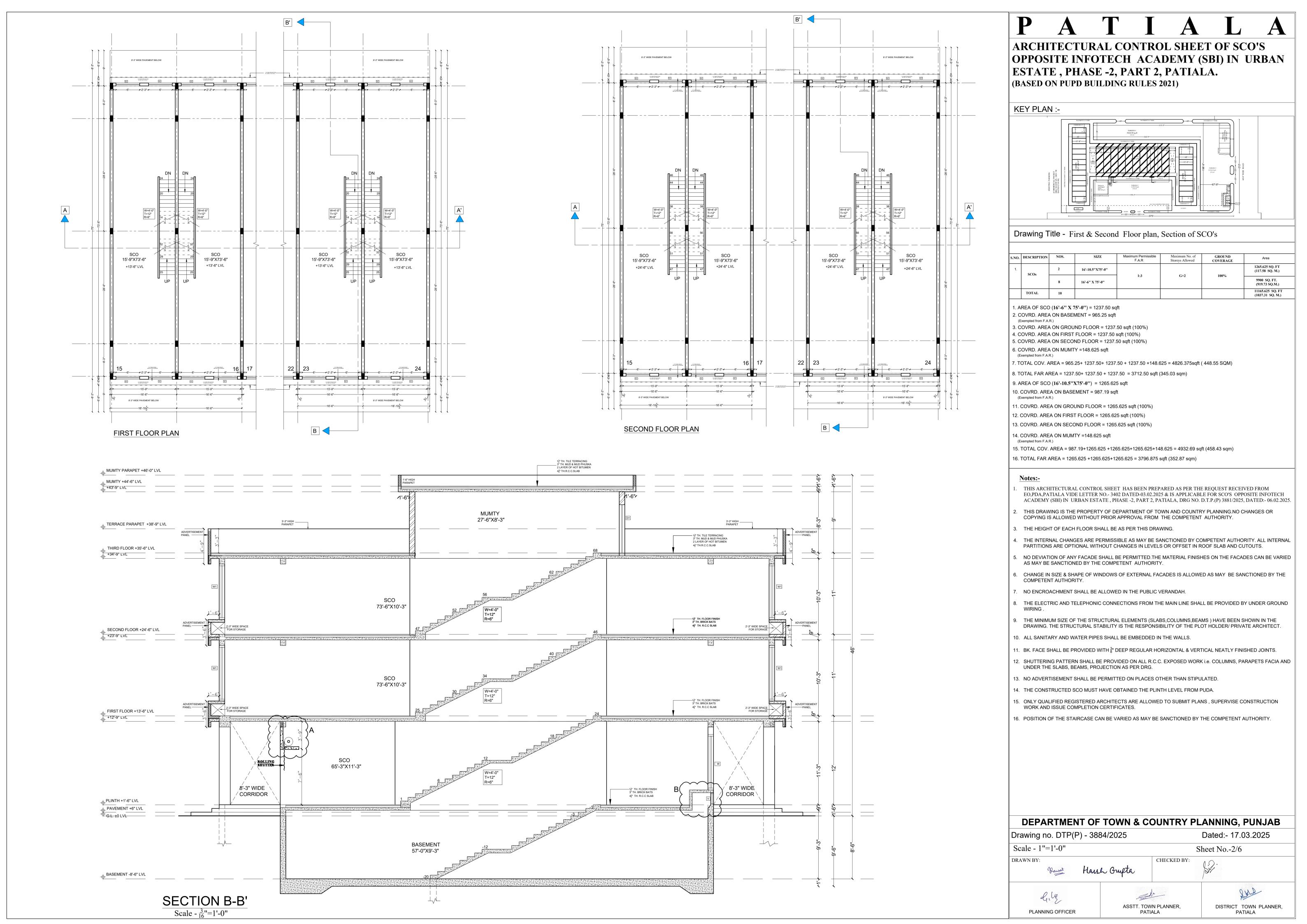
Harsh Grufte

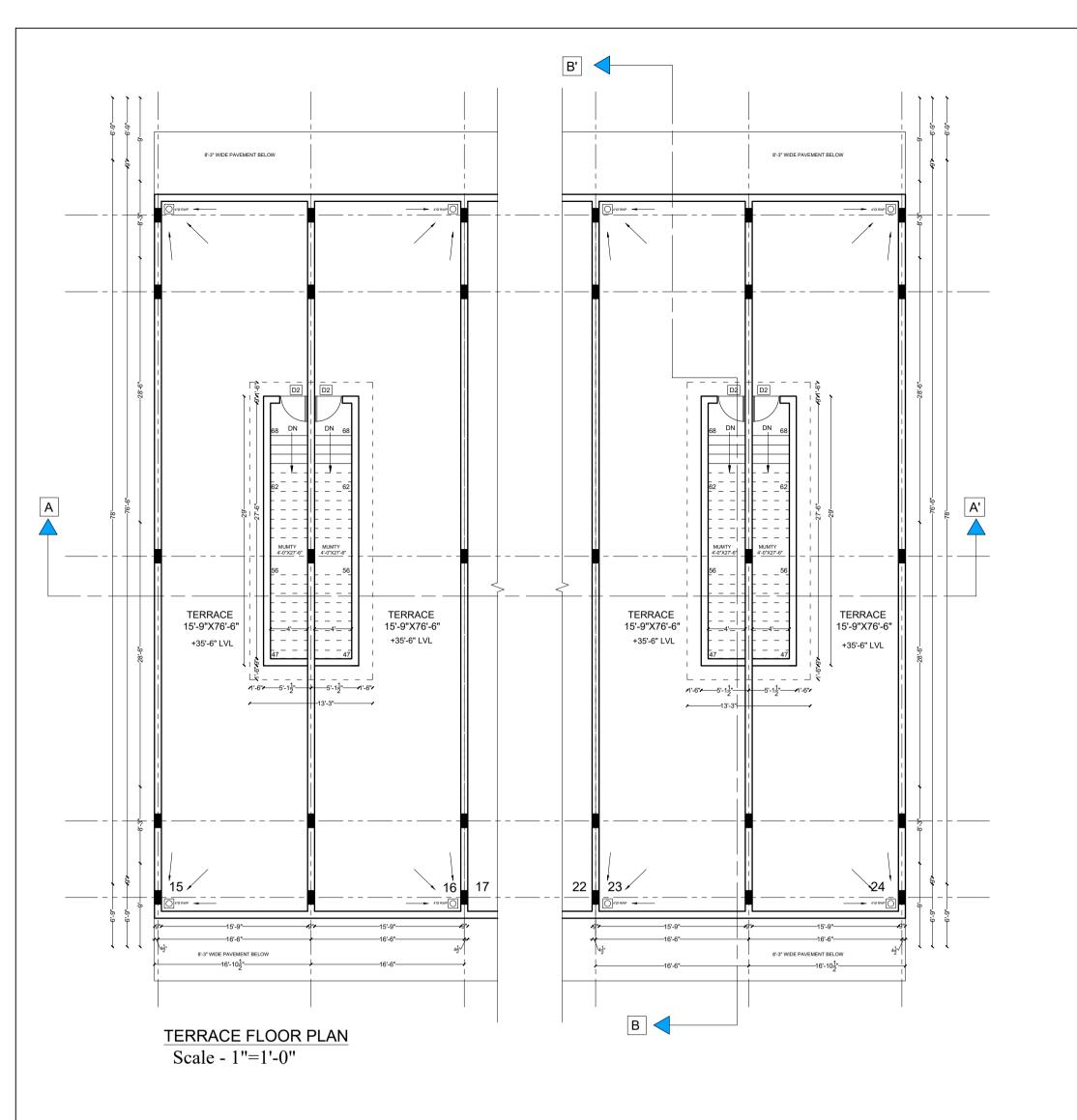




PATIALA

DISTRICT TOWN PLANNER, PATIALA



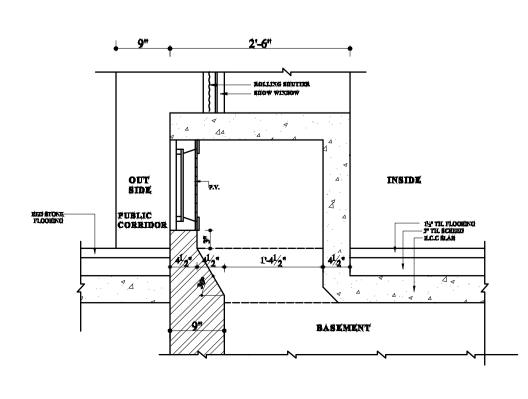




<u> </u>	9"	2'-6"	•	=	-
PIERCE WINK SPRINT		4 4 4		5	
OUTSIDE ANYERITREMENT			INSIDE	2-7/2"	4.67
		4 4		4/2"	_

SCHEDULE OF JOINERY CILL LEVEL S. NO. **HEIGHT** LINTEL LEVEL TYPE WIDTH 4'-6" 9'-6" 9'-6" D2 3'-0" 7'-6" 7'-6" 9'-0" 7'-6" 2'-0" 9'-6" W1 2'-0" 9'-6" 6'-0" 7'-6" 1'-7¹/₂" 9'-0" 1'-6"

1/8" FULL SIZE DETAIL AT 'A'

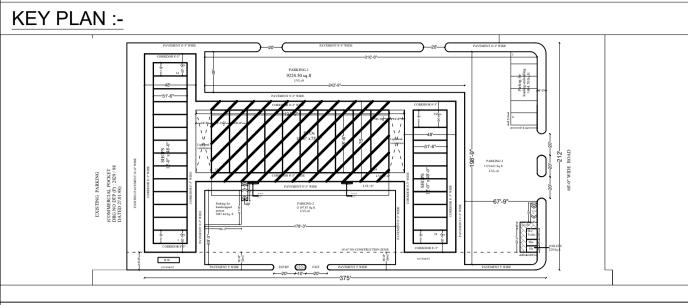


1/8" FULL SIZE DETAIL AT B



PATIAL

ARCHITECTURAL CONTROL SHEET OF SCO'S OPPOSITE INFOTECH ACADEMY (SBI) IN URBAN ESTATE, PHASE -2, PART 2, PATIALA. (BASED ON PUPD BUILDING RULES 2021)



Drawing Title - Terrace plan, Rear Elevation, Section, Joinery Schedule & Details

S.NO.	DESCRIPTION	NOS.	SIZE	Maximum Permissible F.A.R	Maximum No. of Storeys Allowed	GROUND COVERAGE	Area
1.	SCOs	2	16'-10.5"X75'-0"	1:3	G+2	100%	1265.625 SQ. FT (117.58 SQ. M.)
		8	16'-6'' X 75'-0''	1.5			9900 SQ. FT. (919.73 SQ.M.)
	TOTAL	10					11165.625 SQ. FT (1037.31 SQ. M.)

- 1. AREA OF SCO (16'-6" X 75'-0") = 1237.50 sqft
- 2. COVRD. AREA ON BASEMENT = 965.25 sqft (Exempted from F.A.R.)
- 3. COVRD. AREA ON GROUND FLOOR = 1237.50 sqft (100%)
- 4. COVRD. AREA ON FIRST FLOOR = 1237.50 sqft (100%)
- 5. COVRD. AREA ON SECOND FLOOR = 1237.50 sqft (100%)6. COVRD. AREA ON MUMTY =148.625 sqft
- exempted from F.A.R.)
- 7. TOTAL COV. AREA = 965.25+ 1237.50+ 1237.50 + 1237.50 + 148.625 = 4826.375sqft (448.55 SQM)
- 8. TOTAL FAR AREA = 1237.50+ 1237.50 + 1237.50 = 3712.50 sqft (345.03 sqm)
- 9. AREA OF SCO (16'-10.5"X75'-0") = 1265.625 sqft
- 10. COVRD. AREA ON BASEMENT = 987.19 sqft (Exempted from F.A.R.)
- 11. COVRD. AREA ON GROUND FLOOR = 1265.625 sqft (100%)
- 12. COVRD. AREA ON FIRST FLOOR = 1265.625 sqft (100%)
- 13. COVRD. AREA ON SECOND FLOOR = 1265.625 sqft (100%)
- 14. COVRD. AREA ON MUMTY =148.625 sqft
- 15. TOTAL COV. AREA = 987.19+1265.625 +1265.625+1265.625+148.625 = 4932.69 sqft (458.43 sqm)
- 16. TOTAL FAR AREA = 1265.625 +1265.625+1265.625 = 3796.875 sqft (352.87 sqm)

Notes:-

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- 3. THE HEIGHT OF EACH FLOOR SHALL BE AS PER THIS DRAWING.
- THE INTERNAL CHANGES ARE PERMISSIBLE AS MAY BE SANCTIONED BY COMPETENT AUTHORITY. ALL INTERNAL PARTITIONS ARE OPTIONAL WITHOUT CHANGES IN LEVELS OR OFFSET IN ROOF SLAB AND CUTOUTS.
- NO DEVIATION OF ANY FACADE SHALL BE PERMITTED. THE MATERIAL FINISHES ON THE FACADES CAN BE VARIED
 AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.
- . CHANGE IN SIZE & SHAPE OF WINDOWS OF EXTERNAL FACADES IS ALLOWED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.
- NO ENCROACHMENT SHALL BE ALLOWED IN THE PUBLIC VERANDAH.
- 3. THE ELECTRIC AND TELEPHONIC CONNECTIONS FROM THE MAIN LINE SHALL BE PROVIDED BY UNDER GROUND WIRING .
- THE MINIMUM SIZE OF THE STRUCTURAL ELEMENTS (SLABS, COLUMNS, BEAMS) HAVE BEEN SHOWN IN THE DRAWING. THE STRUCTURAL STABILITY IS THE RESPONSIBILITY OF THE PLOT HOLDER/ PRIVATE ARCHITECT.
- 10. ALL SANITARY AND WATER PIPES SHALL BE EMBEDDED IN THE WALLS.
- 11. BK. FACE SHALL BE PROVIDED WITH $\frac{3}{8}$ " DEEP REGULAR HORIZONTAL & VERTICAL NEATLY FINISHED JOINTS.
- 12. SHUTTERING PATTERN SHALL BE PROVIDED ON ALL R.C.C. EXPOSED WORK i.e. COLUMNS, PARAPETS FACIA AND UNDER THE SLABS, BEAMS, PROJECTION AS PER DRG.
- 13. NO ADVERTISEMENT SHALL BE PERMITTED ON PLACES OTHER THAN STIPULATED.
- 14. THE CONSTRUCTED SCO MUST HAVE OBTAINED THE PLINTH LEVEL FROM PUDA.
- 15. ONLY QUALIFIED REGISTERED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS, SUPERVISE CONSTRUCTION WORK AND ISSUE COMPLETION CERTIFICATES.
- 16. POSITION OF THE STAIRCASE CAN BE VARIED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.

DEPARTMENT OF TOWN & COUNTRY PLANNING, PUNJAB

 Drawing no. DTP(P) - 3884/2025
 Dated:- 17.03.2025

 Scale - ½"=1'-0"
 Sheet No.-3/6

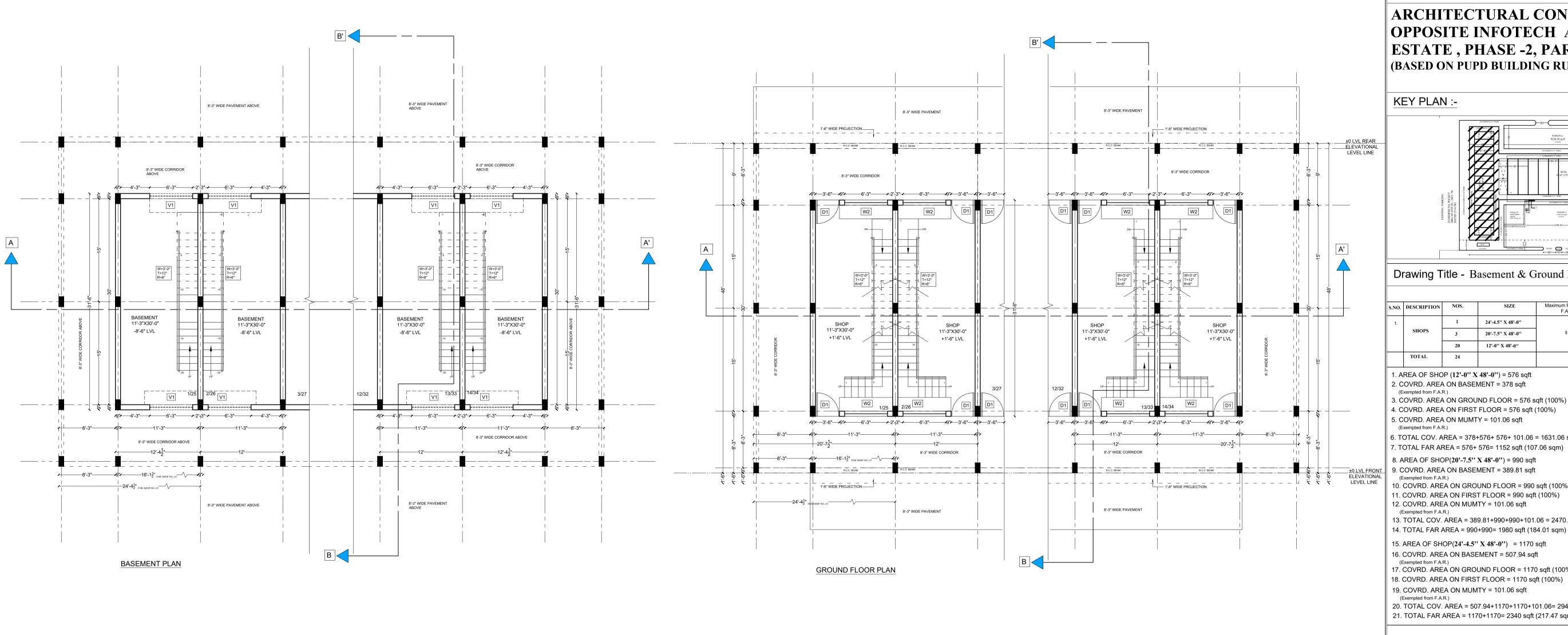
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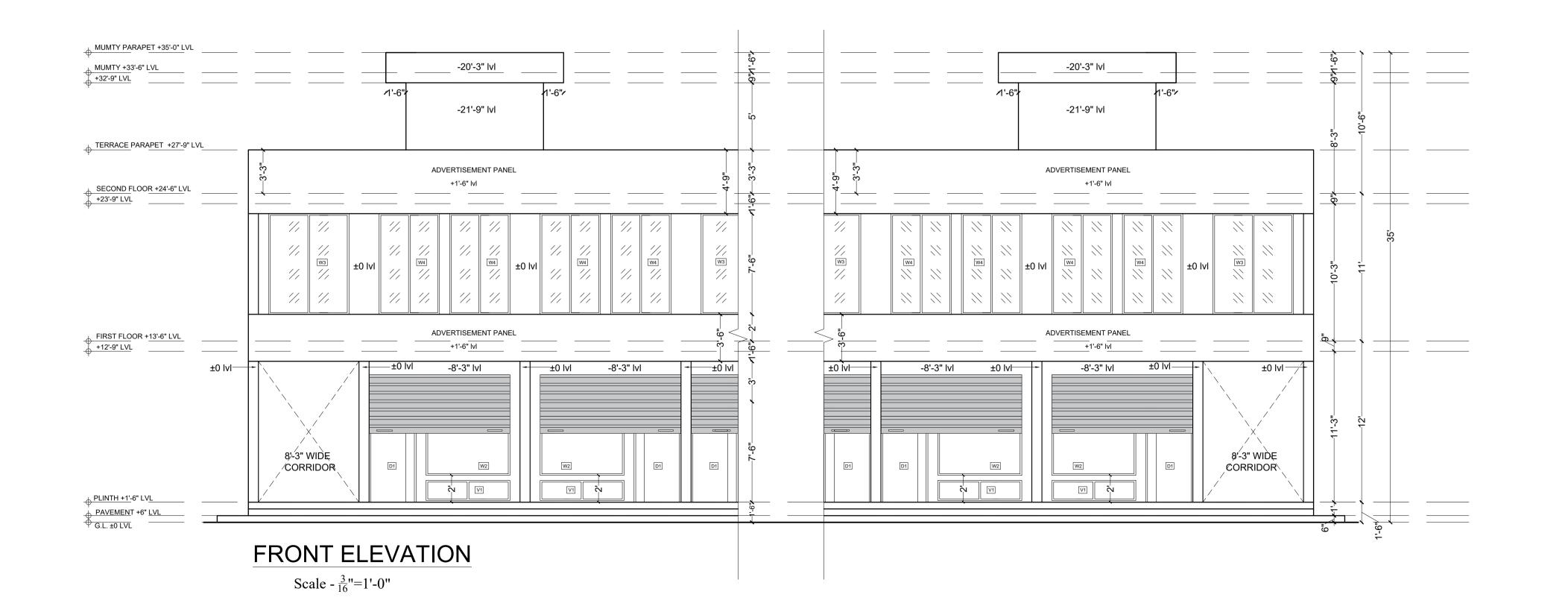
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PLANNING OFFICER

ASSTT. TOWN PLANNER,
PATIALA

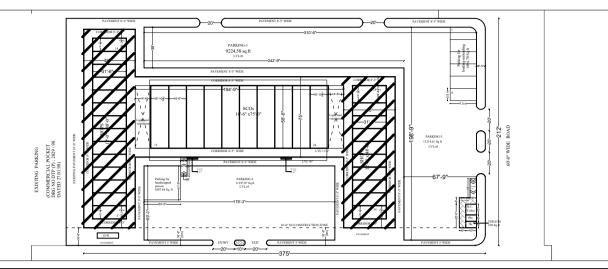
DISTRICT TOWN PLANNER, PATIALA





ARCHITECTURAL CONTROL SHEET OF SHOPS OPPOSITE INFOTECH ACADEMY (SBI) IN URBAN ESTATE , PHASE -2, PART 2, PATIALA. (BASED ON PUPD BUILDING RULES 2021)

KEY PLAN :-



Drawing Title - Basement & Ground Floor plan, Front Elevation of Shops

s.no.	DESCRIPTION	NOS.	SIZE	Maximum Permissible F.A.R	Maximum No. of Storeys Allowed	GROUND COVERAGE	Area
1.		1	24'-4.5" X 48'-0"				1170 SQ. FT (108.70 SQ. M.)
	SHOPS	3	20'-7.5" X 48'-0"	1:2	G+1	100%	2970 SQ. FT. (275.92 SQ.M.)
		20	12'-0'' X 48'-0''				11520 SQ. FT. (1070.23 SQ.M.)
	TOTAL	24					15660 SQ. FT (1454.85 SQ. M.)

1. AREA OF SHOP (12'-0" X 48'-0") = 576 sqft 2. COVRD. AREA ON BASEMENT = 378 saft

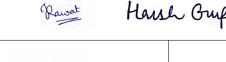
- (Exempted from F.A.R.)
- 3. COVRD. AREA ON GROUND FLOOR = 576 sqft (100%)
- 5. COVRD. AREA ON MUMTY = 101.06 sqft
- 6. TOTAL COV. AREA = 378+576+ 576+ 101.06 = 1631.06 sqft (151.59 SQM)
- 7. TOTAL FAR AREA = 576+ 576= 1152 sqft (107.06 sqm)
- 8. AREA OF SHOP(20'-7.5" X 48'-0") = 990 sqft
- 9. COVRD. AREA ON BASEMENT = 389.81 sqft
- 10. COVRD. AREA ON GROUND FLOOR = 990 sqft (100%)
- 11. COVRD. AREA ON FIRST FLOOR = 990 sqft (100%) 12. COVRD. AREA ON MUMTY = 101.06 sqft
- 13. TOTAL COV. AREA = 389.81+990+990+101.06 = 2470.87 sqft (229.63 sqm)
- 15. AREA OF SHOP($24'-4.5'' \times 48'-0''$) = 1170 sqft 16. COVRD. AREA ON BASEMENT = 507.94 sqft
- 17. COVRD. AREA ON GROUND FLOOR = 1170 sqft (100%)
- 18. COVRD. AREA ON FIRST FLOOR = 1170 sqft (100%)
- 19. COVRD. AREA ON MUMTY = 101.06 sqft
- 20. TOTAL COV. AREA = 507.94+1170+1170+101.06= 2949 sqft (274.07 sqm)
- 21. TOTAL FAR AREA = 1170+1170= 2340 sqft (217.47 sqm)

Notes:-

- THIS ARCHITECTURAL CONTROL SHEET HAS BEEN PREPARED AS PER THE REQUEST RECEIVED FROM EO,PDA,PATIALA VIDE LETTER NO.- 3402 DATED-03.02.2025 & IS APPLICABLE FOR SCO'S OPPOSITE INFOTECH ACADEMY (SBI) IN URBAN ESTATE, PHASE -2, PART 2, PATIALA, DRG NO. D.T.P.(P) 3881/2025, DATED:- 06.02.2025.
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- 3. THE HEIGHT OF EACH FLOOR SHALL BE AS PER THIS DRAWING.
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- 6. CHANGE IN SIZE & SHAPE OF WINDOWS OF EXTERNAL FACADES IS ALLOWED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.
- 7. NO ENCROACHMENT SHALL BE ALLOWED IN THE PUBLIC VERANDAH.
- 8. THE ELECTRIC AND TELEPHONIC CONNECTIONS FROM THE MAIN LINE SHALL BE PROVIDED BY UNDER GROUND
- 9. THE MINIMUM SIZE OF THE STRUCTURAL ELEMENTS (SLABS, COLUMNS, BEAMS) HAVE BEEN SHOWN IN THE DRAWING. THE STRUCTURAL STABILITY IS THE RESPONSIBILITY OF THE PLOT HOLDER/ PRIVATE ARCHITECT.
- 10. ALL SANITARY AND WATER PIPES SHALL BE EMBEDDED IN THE WALLS.
- 11. BK. FACE SHALL BE PROVIDED WITH 3" DEEP REGULAR HORIZONTAL & VERTICAL NEATLY FINISHED JOINTS.
- 12. SHUTTERING PATTERN SHALL BE PROVIDED ON ALL R.C.C. EXPOSED WORK i.e. COLUMNS, PARAPETS FACIA AND UNDER THE SLABS, BEAMS, PROJECTION AS PER DRG.
- 13. NO ADVERTISEMENT SHALL BE PERMITTED ON PLACES OTHER THAN STIPULATED.
- 14. THE CONSTRUCTED SCO MUST HAVE OBTAINED THE PLINTH LEVEL FROM PUDA.
- 15. ONLY QUALIFIED REGISTERED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS, SUPERVISE CONSTRUCTION WORK AND ISSUE COMPLETION CERTIFICATES.
- 16. POSITION OF THE STAIRCASE CAN BE VARIED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.

DEPARTMENT OF TOWN & COUNTRY PLANNING, PUNJAB

Drawing no. DTP(P) - 3884/2025 Dated:- 17.03.2025 Scale - $\frac{1}{8}$ "=1'-0" Sheet No.-4/6 DRAWN BY: CHECKED BY:

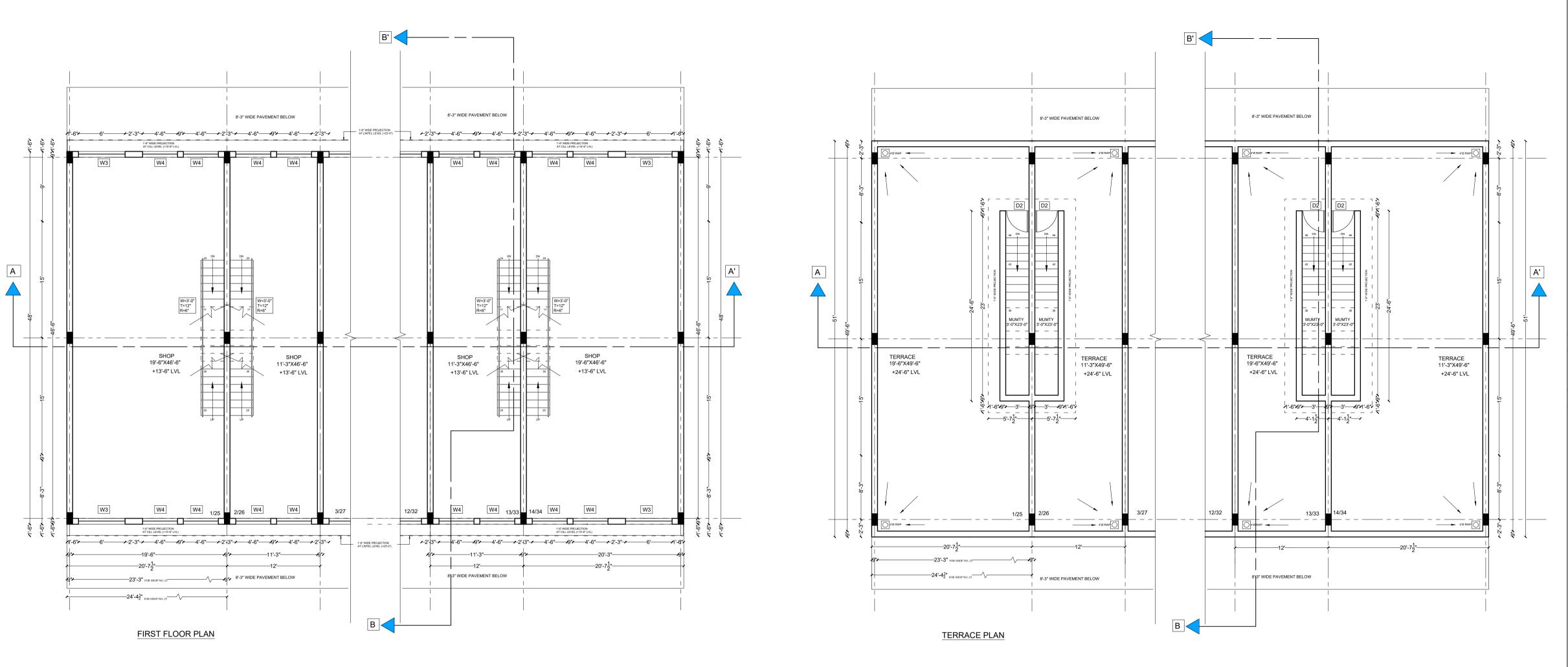


PLANNING OFFICER

ASSTT. TOWN PLANNER,

PATIALA

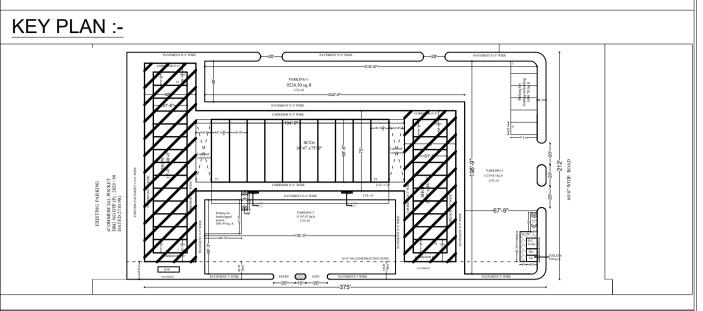
DISTRICT TOWN PLANNER, PATIALA





PATIALA

ARCHITECTURAL CONTROL SHEET OF SCO'S OPPOSITE INFOTECH ACADEMY (SBI) IN URBAN ESTATE, PHASE -2, PART 2, PATIALA. (BASED ON PUPD BUILDING RULES 2021)



Drawing Title - First Floor plan, Rear Elevation of Shops

S.NO.	DESCRIPTION	NOS.	SIZE	Maximum Permissible F.A.R	Maximum No. of Storeys Allowed	GROUND COVERAGE	Area
1.	SCOs	2	16'-10.5"X75'-0"	1:3	G+2	100%	1265.625 SQ. FT (117.58 SQ. M.)
		8	16'-6" X 75'-0"	1.3	G+2		9900 SQ. FT. (919.73 SQ.M.)
	TOTAL	10					11165.625 SQ. FT (1037.31 SQ. M.)

- 1. AREA OF SCO (16'-6" X 75'-0") = 1237.50 sqft 2. COVRD. AREA ON BASEMENT = 965.25 sqft
- (Exempted from F.A.R.)
- 3. COVRD. AREA ON GROUND FLOOR = 1237.50 sqft (100%)
- 4. COVRD. AREA ON FIRST FLOOR = 1237.50 sqft (100%)
 5. COVRD. AREA ON SECOND FLOOR = 1237.50 sqft (100%)
- 6. COVRD. AREA ON MUMTY =148.625 sqft
- 7. TOTAL COV. AREA = 965.25+ 1237.50+ 1237.50 + 1237.50 +148.625 = 4826.375sqft (448.55 SQM)
- 8. TOTAL FAR AREA = 1237.50+ 1237.50 + 1237.50 = 3712.50 sqft (345.03 sqm)
- 9. AREA OF SCO (16'-10.5"X75'-0") = 1265.625 sqft
- 10. COVRD. AREA ON BASEMENT = 987.19 sqft (Exempted from F.A.R.)
- 11. COVRD. AREA ON GROUND FLOOR = 1265.625 sqft (100%)
- 12. COVRD. AREA ON FIRST FLOOR = 1265.625 sqft (100%)
- 13. COVRD. AREA ON SECOND FLOOR = 1265.625 sqft (100%)
- 14. COVRD. AREA ON MUMTY =148.625 sqft
- 15. TOTAL COV. AREA = 987.19+1265.625 +1265.625+1265.625+148.625 = 4932.69 sqft (458.43 sqm)
- 16. TOTAL FAR AREA = 1265.625 +1265.625+1265.625 = 3796.875 sqft (352.87 sqm)

Notes:-

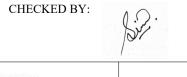
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- 7. NO ENCROACHMENT SHALL BE ALLOWED IN THE PUBLIC VERANDAH.
- 3. THE ELECTRIC AND TELEPHONIC CONNECTIONS FROM THE MAIN LINE SHALL BE PROVIDED BY UNDER GROUND
- THE MINIMUM SIZE OF THE STRUCTURAL ELEMENTS (SLABS, COLUMNS, BEAMS) HAVE BEEN SHOWN IN THE DRAWING. THE STRUCTURAL STABILITY IS THE RESPONSIBILITY OF THE PLOT HOLDER/ PRIVATE ARCHITECT.
- 10. ALL SANITARY AND WATER PIPES SHALL BE EMBEDDED IN THE WALLS.
- 11. BK. FACE SHALL BE PROVIDED WITH $\frac{3}{8}$ " DEEP REGULAR HORIZONTAL & VERTICAL NEATLY FINISHED JOINTS.
- 12. SHUTTERING PATTERN SHALL BE PROVIDED ON ALL R.C.C. EXPOSED WORK i.e. COLUMNS, PARAPETS FACIA AND UNDER THE SLABS, BEAMS, PROJECTION AS PER DRG.
- 13. NO ADVERTISEMENT SHALL BE PERMITTED ON PLACES OTHER THAN STIPULATED.
- 14. THE CONSTRUCTED SCO MUST HAVE OBTAINED THE PLINTH LEVEL FROM PUDA.
- 15. ONLY QUALIFIED REGISTERED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS, SUPERVISE CONSTRUCTION WORK AND ISSUE COMPLETION CERTIFICATES.
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DEPARTMENT OF TOWN & COUNTRY PLANNING, PUNJAB

Drawing no. DTP(P) - 3884/2025 Dated:- 17.03.2025 Scale - $\frac{1}{8}$ "=1'-0" Sheet No.-5/6

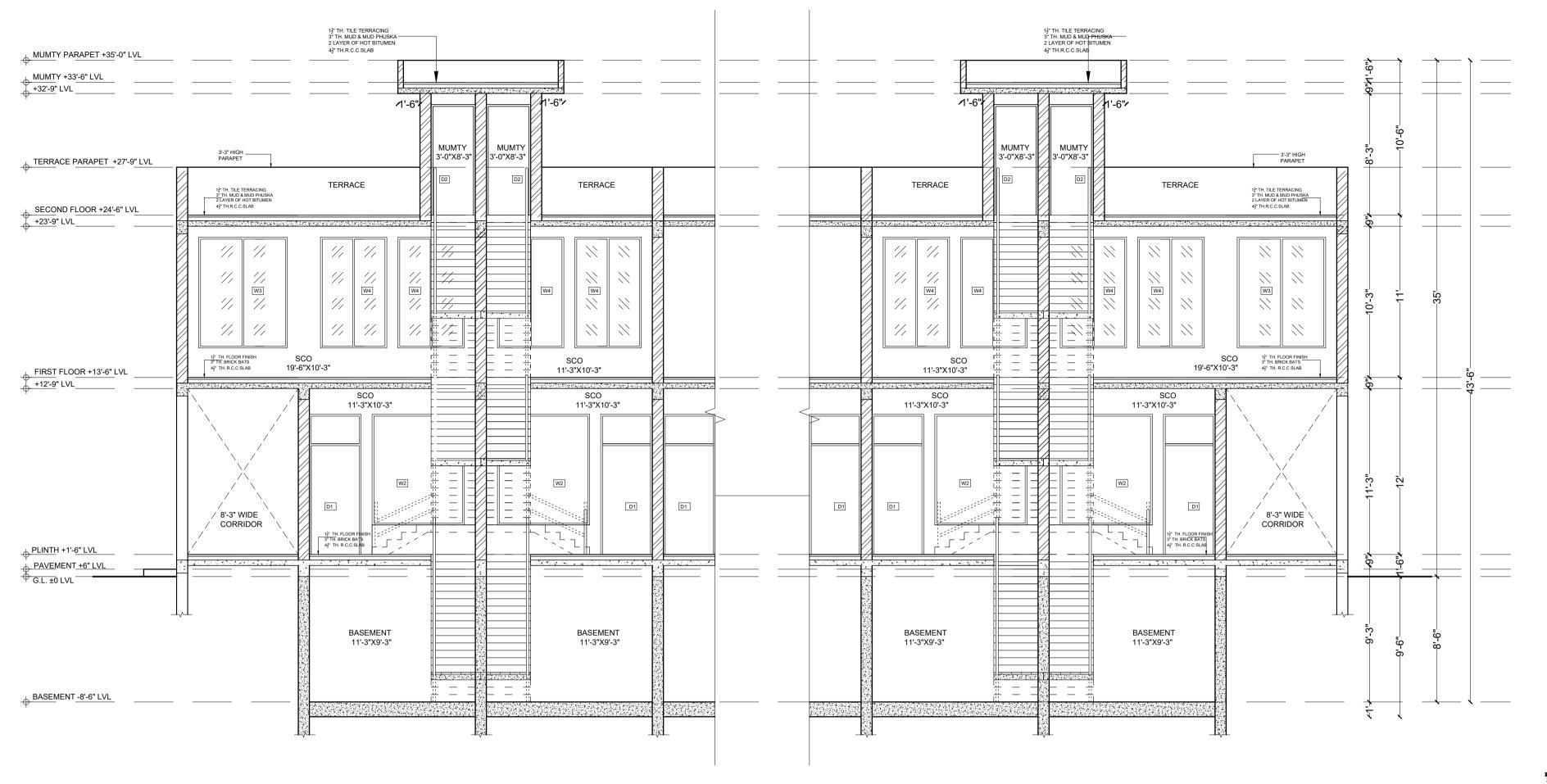
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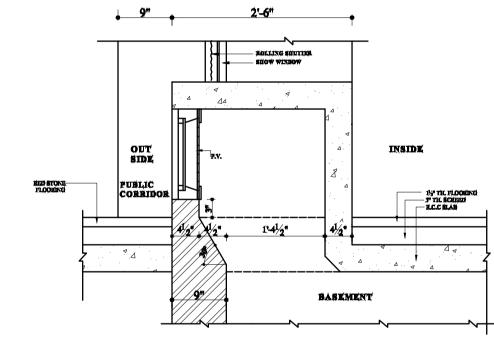
Haush Gupta



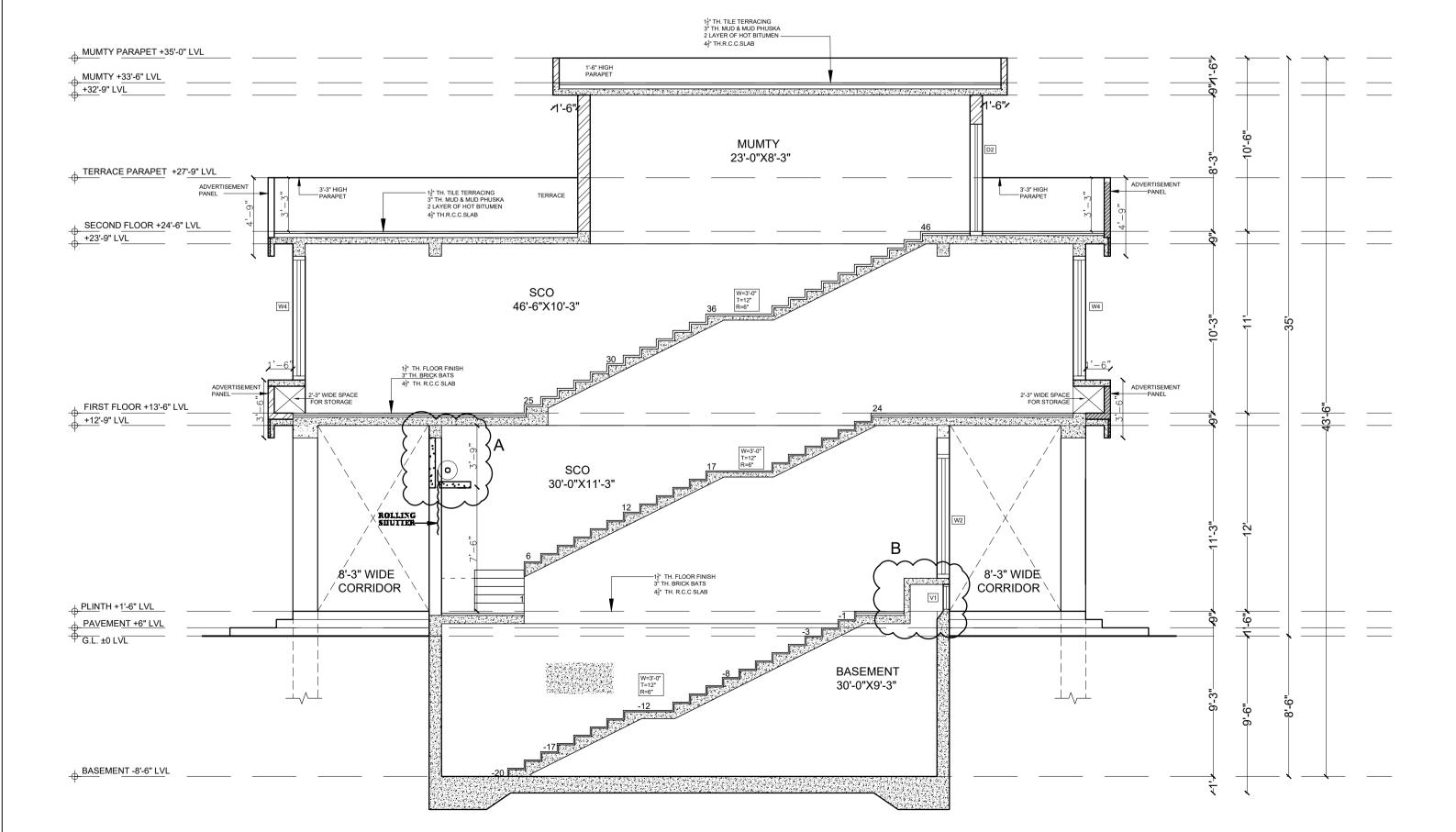








1/8" FULL SIZE DETAIL AT B



SCHEDULE OF JOINERY CILL LEVEL LINTEL LEVEL S. NO. **TYPE** WIDTH 9'-6" D1 3'-6" 9'-6" 7'-6" 2 D2 3'-0" 7'-6" 9'-6" 3 W2 7'-6" 2'-0" W3 6'-0" 7'-6" 2'-0" 9'-6" W4 4'-6" 7'-6" 2'-0" 9'-6" $1'-7\frac{1}{2}"$ V1 6'-3" 1'-6"

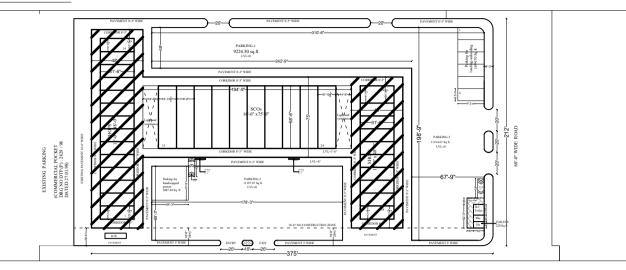
INSIDE

1/8" FULL SIZE DETAIL AT 'A'

OUTSIDE

ARCHITECTURAL CONTROL SHEET OF SHOPS OPPOSITE INFOTECH ACADEMY (SBI) IN URBAN ESTATE , PHASE -2, PART 2, PATIALA. (BASED ON PUPD BUILDING RULES 2021)

KEY PLAN :-



Drawing Title - Section of Shops, Joinery Schedule & Details

S.NO.	DESCRIPTION	NOS.	SIZE	Maximum Permissible F.A.R	Maximum No. of Storeys Allowed	GROUND COVERAGE	Area
1.		1	24'-4.5" X 48'-0"				1170 SQ. FT (108.70 SQ. M.)
	SHOPS	3	20'-7.5" X 48'-0"	1:2	G+1	100%	2970 SQ. FT. (275.92 SQ.M.)
		20	12'-0'' X 48'-0''				11520 SQ. FT. (1070.23 SQ.M.)
	TOTAL	24					15660 SQ. FT (1454.85 SQ. M.)

1. AREA OF SHOP (12'-0" X 48'-0") = 576 sqft 2. COVRD. AREA ON BASEMENT = 378 sqft

- (Exempted from F.A.R.) 3. COVRD. AREA ON GROUND FLOOR = 576 sqft (100%)
- 4. COVRD. AREA ON FIRST FLOOR = 576 sqft (100%)
- 5. COVRD. AREA ON MUMTY = 101.06 sqft (Exempted from F.A.R.)
- 6. TOTAL COV. AREA = 378+576+ 576+ 101.06 = 1631.06 sqft (151.59 SQM)
- 7. TOTAL FAR AREA = 576+ 576= 1152 sqft (107.06 sqm)
- 8. AREA OF SHOP(20'-7.5" X 48'-0") = 990 sqft 9. COVRD. AREA ON BASEMENT = 389.81 sqft
- 10. COVRD. AREA ON GROUND FLOOR = 990 sqft (100%)
- 11. COVRD. AREA ON FIRST FLOOR = 990 sqft (100%)
- 12. COVRD. AREA ON MUMTY = 101.06 sqft
- 13. TOTAL COV. AREA = 389.81+990+990+101.06 = 2470.87 sqft (229.63 sqm)
- 14. TOTAL FAR AREA = 990+990= 1980 sqft (184.01 sqm)
- 15. AREA OF SHOP(24'-4.5" X 48'-0") = 1170 sqft
- 16. COVRD. AREA ON BASEMENT = 507.94 sqft
- 17. COVRD. AREA ON GROUND FLOOR = 1170 sqft (100%)
- 18. COVRD. AREA ON FIRST FLOOR = 1170 sqft (100%) 19. COVRD. AREA ON MUMTY = 101.06 sqft
- 20. TOTAL COV. AREA = 507.94+1170+1170+101.06= 2949 sqft (274.07 sqm)
- 21. TOTAL FAR AREA = 1170+1170= 2340 sqft (217.47 sqm)

- THIS ARCHITECTURAL CONTROL SHEET HAS BEEN PREPARED AS PER THE REQUEST RECEIVED FROM EO,PDA,PATIALA VIDE LETTER NO.- 3402 DATED-03.02.2025 & IS APPLICABLE FOR SCO'S OPPOSITE INFOTECH
- THIS DRAWING IS THE PROPERTY OF DEPARTMENT OF TOWN AND COUNTRY PLANNING.NO CHANGES OR COPYING IS ALLOWED WITHOUT PRIOR APPROVAL FROM THE COMPETENT AUTHORITY.
- 3. THE HEIGHT OF EACH FLOOR SHALL BE AS PER THIS DRAWING.
- 4. THE INTERNAL CHANGES ARE PERMISSIBLE AS MAY BE SANCTIONED BY COMPETENT AUTHORITY. ALL INTERNAL PARTITIONS ARE OPTIONAL WITHOUT CHANGES IN LEVELS OR OFFSET IN ROOF SLAB AND CUTOUTS.
- NO DEVIATION OF ANY FACADE SHALL BE PERMITTED. THE MATERIAL FINISHES ON THE FACADES CAN BE VARIED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY. CHANGE IN SIZE & SHAPE OF WINDOWS OF EXTERNAL FACADES IS ALLOWED AS MAY BE SANCTIONED BY THE
- COMPETENT AUTHORITY.
- NO ENCROACHMENT SHALL BE ALLOWED IN THE PUBLIC VERANDAH.
- 8. THE ELECTRIC AND TELEPHONIC CONNECTIONS FROM THE MAIN LINE SHALL BE PROVIDED BY UNDER GROUND
- 9. THE MINIMUM SIZE OF THE STRUCTURAL ELEMENTS (SLABS, COLUMNS, BEAMS) HAVE BEEN SHOWN IN THE DRAWING. THE STRUCTURAL STABILITY IS THE RESPONSIBILITY OF THE PLOT HOLDER/ PRIVATE ARCHITECT.
- 10. ALL SANITARY AND WATER PIPES SHALL BE EMBEDDED IN THE WALLS.
- 11. BK. FACE SHALL BE PROVIDED WITH $\frac{3}{8}$ " DEEP REGULAR HORIZONTAL & VERTICAL NEATLY FINISHED JOINTS.
- 12. SHUTTERING PATTERN SHALL BE PROVIDED ON ALL R.C.C. EXPOSED WORK i.e. COLUMNS, PARAPETS FACIA AND UNDER THE SLABS, BEAMS, PROJECTION AS PER DRG.
- 13. NO ADVERTISEMENT SHALL BE PERMITTED ON PLACES OTHER THAN STIPULATED.
- 14. THE CONSTRUCTED SCO MUST HAVE OBTAINED THE PLINTH LEVEL FROM PUDA.
- 15. ONLY QUALIFIED REGISTERED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS, SUPERVISE CONSTRUCTION
- 16. POSITION OF THE STAIRCASE CAN BE VARIED AS MAY BE SANCTIONED BY THE COMPETENT AUTHORITY.

DEPARTMENT OF TOWN & COUNTRY PLANNING, PUNJAB

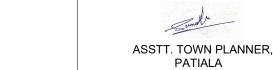
CHECKED BY:

Drawing no. DTP(P) - 3884/2025 Dated:- 17.03.2025 Scale - $\frac{3}{16}$ "=1'-0" Sheet No.-6/6

DRAWN BY:

Haush Gufte







SECTION B-B'

SECTION A-A'

PLANNING OFFICER

DISTRICT TOWN PLANNER, PATIALA