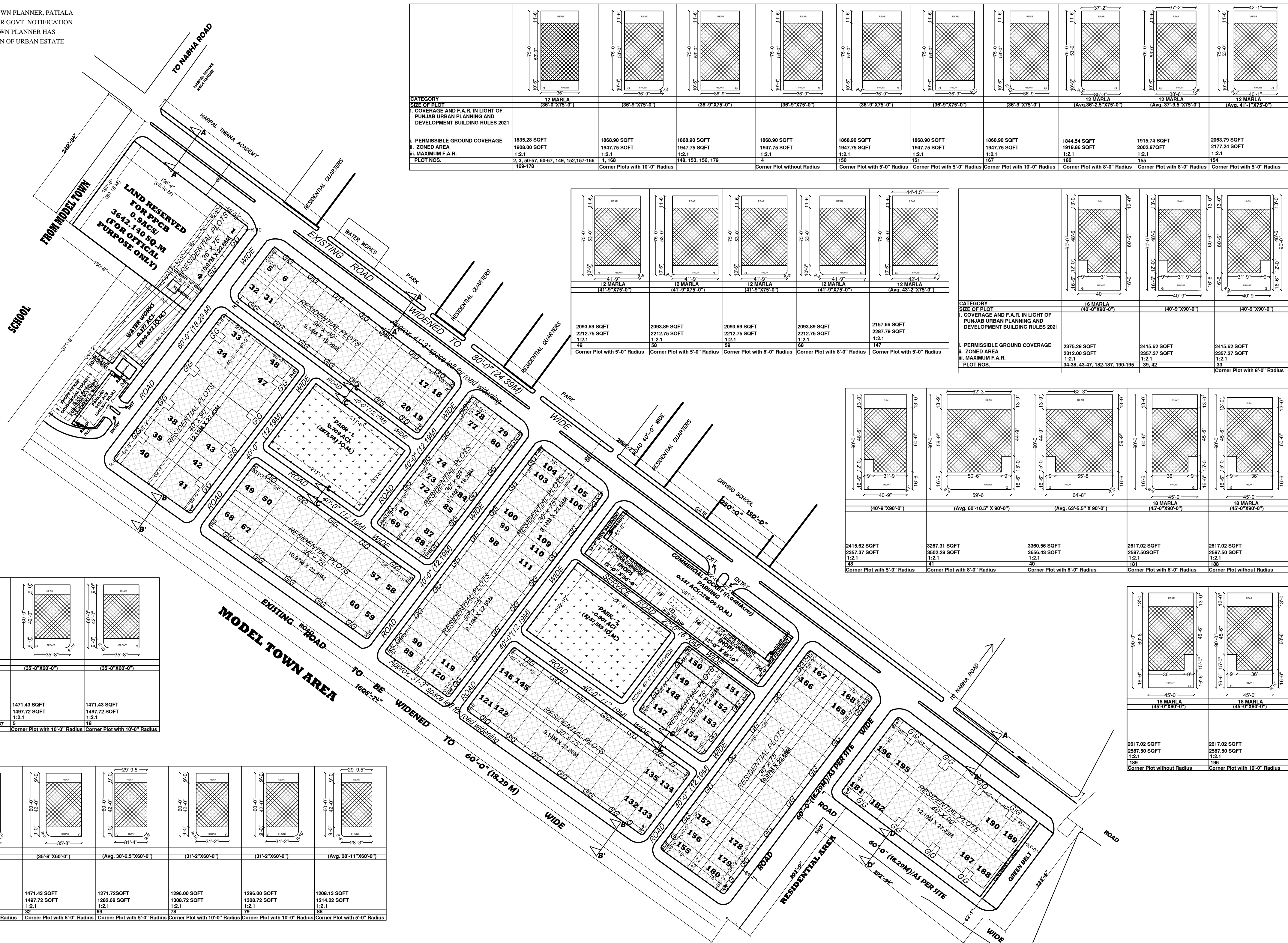


THIS ZONING PLAN HAS BEEN APPROVED BY SENIOR TOWN PLANNER, PATIALA VIDE LETTER NO. 2113 STP(P)/SP-171 DT. 12.12.2022 AS PER GOVT. NOTIFICATION NO. 18/30/09-SHG2/2560 DT. 07.10.2022. THE SENIOR TOWN PLANNER HAS DELEGATED THE POWER TO APPROVE THE ZONING PLAN OF URBAN ESTATE /OUVGL SITES.



CATEGORY	SIZE OF PLOT	I. COVERAGE AND F.A.R. IN LIGHT OF PUNJAB URBAN PLANNING AND DEVELOPMENT BUILDING RULES 2021	II. ZONED AREA	III. MAXIMUM F.A.R.	IV. PLOT NOS.
I. PERMISSIBLE GROUND COVERAGE	12 MARLA (38'-9" X 75'-0")	1835.20 SQFT	1938.00 SQFT	12.1	169-178
II. ZONED AREA	(38'-9" X 75'-0")	1868.90 SQFT	1947.75 SQFT	12.1	179
III. MAXIMUM F.A.R.	(38'-9" X 75'-0")	1868.90 SQFT	1947.75 SQFT	12.1	179
IV. PLOT NOS.	(38'-9" X 75'-0")	1868.90 SQFT	1947.75 SQFT	12.1	179

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Note:- 1. The HT (11 KV) / LT (440 Volts) Lines have been shifted/dismantled by PSPCL on dated 20.12.2021 as per letter no. 474 dated. 17.6.2022 of S.D.E. (Electrical), PDA Patiala.
2. The Pocket 1 and 2 shown in Revised Layout cum numbering plan Drg. no. DTP(PB) 3716/2019 dated 18.3.2019/ 25.4.2019/ 02.05.2019 have been deleted since the total site (23.96 Acre.) is Contiguous as per letter no. 1807 dated 10.5.2021 of Divisional Engineer (C1), PDA Patiala.
3. This Zoning is based on Revised layout cum numbering plan Drg. no. DTP(PB) 3716/2019 dated 18.03.2019/25.04.2019/02.05.2019.

PATIALA

ZONING PLAN

OF IRRIGATION DEPARTMENT LAND AT 12 QUAN, NABHA ROAD, PATIALA

Total Area of the Site 23.96 Acs. (96997.918 sq.m.)

ZONING CLAUSES :-
The provisions of this zoning plan shall be in accordance to the building requirements contained in the Punjab Urban Planning and Development Building Rules, 2021 and amended from time to time upto date.

(I) PLINTH LEVEL:- The plinth level for residential plots shall be kept as 900mm from the crown of the adjoining road in front or as specified by the competent authority from time to time. Further provisions of plinth level shall be as per rule 30(1) of Punjab Urban Planning and Development Building Rules, 2021

(II) HEIGHT :-
(a) The maximum height of residential building without stilts shall be 11 mts excluding Parapet , mummy, lift rooms and architectural features.

(III) PROJECTION & BALCONY :- As per rule no. 26(3) of Punjab Urban Planning and Development Building Rules 2021 :-
(a) Where there is an uncovered balcony or chajja or cantilever from wall it shall not project more than 1.83 mts. (6'-0") beyond the building line when measured at right angle to the outer face of the wall for plots above 250 sq.mts. and it shall be within the boundaries of the site. In the case of row houses or buildings adjoining each other where the area of the plot is upto 250 sq.mts. the projection shall not be more than one third of the corresponding depth of front or rear setback or 0.91 meter (3'-0"), whichever is less.
Provided that projection on door and window shall not exceed 0.91m (3'-0"), Provided further that projection shall not be at lesser height than 2.06mts.(6'-9") clear above the plinth level of the building.

(b) The area of the projection shall not be counted towards the covered area of the site.
(c) In case of corner plots, sunshade, not exceeding 0.60 meters (2'-0") on window opening on to the side shall be permitted at a height not less than 2.06 meters (6'-9").

Balcony shall not be more than 1/3rd of corresponding depth of front or rear setback or 1.22m (4') whichever is less for plot size upto 250 sq.m. and 1.83 meter (6'-0") for plot size above 250 sq.m. other conditions for balcony and projections shall be as per Rule No. 26 (3) of Punjab Urban Planning and Development Building Rules, 2021

(IV) SETBACKS AROUND BUILDING :- The width of front and rear setbacks shall be as shown on the zoning plan and the width of side setback, if left at any point of the building, shall be equal to one-fifth of the height of the building subject to minimum of 1.5 metres as per Punjab Urban Planning and Development Building Rules 2021.

(V) SITE GROUND COVERAGE:-
Building shall be constructed within zoned area as shown This [diagram] on the plan. The maximum permissible ground coverage shall be as under:-
Permissible Limits as per Plot Size (Sq.m) :-
(i) Minimum 50 to 150 Sq.m. 0.70 X Plot Area
(ii) Above 150 to 250 0.70 X Plot Area
(iii) Above 250 to 350 0.65 X (Plot Area - 150) + 105
(iv) Above 350 to 450 0.50 X (Plot Area - 250) + 170
(v) Above 450 to 550 0.50 X (Plot Area - 350) + 230
(vi) Above 550 0.40 X (Plot Area - 450) + 280

(VI) FLOOR AREA RATIO
Maximum Floor Area Ratio 1 : 2.1
Maximum No. of Floors : Ground + 2 Floors (excluding basement)
The maximum permissible ground coverage & FAR is subjected to the fulfillment of the setback, height and parking norms.

(VII) SERVICES IN TERRACE :- Solar Photo Voltaic installation, Water Tank, Rain Water pipes with drainage, mummy, machine room and screening parapet to hide services or as per the provisions of the National Building Code Of India, 2016.

(VIII) BASEMENT :-
(a) The area of the basement should not be more than the ground coverage subject to the safety of adjoining property from all aspects and as per the provision of Rule 30(5) of part VI, Punjab Urban Planning and Development Building Rules, 2021
(b) Basement if constructed may be used for parking, household storage, habitable and consultancy services purposes. It shall be counted towards FAR if used for habitable purposes.
(c) Single storey basement is allowed upto zoned area subject to the condition that the owners shall leave minimum 2.44m(8'-0") setback from the boundary wall of the plot:
Provided that the above condition of 2.44m (8'-0") setback from the adjoining plot shall not be mandatory if adjoining plot does not have a building upto 2.44m from the plot line.

(d) The area of the basement should not be more than the ground coverage.
Minimum clear height for basement shall be as below:-
• Non-Habitable use : 2.40m
• Habitable use : 2.75m

(IX) MUMMY :- Allow upto 2.75m, otherwise counted towards the height of the building as well as floor area ratio.
(X) LIGHT & VENTILATION :- The provision of light and ventilation and ventilation shaft shall be as per serial no. 8, 9 & 11, table 1 of section 3(A) of Punjab Urban Planning and Development Building Rules, 2021.

(XI) PARAPET OR RAILING :- The provision of parapet or railing shall be as per serial no. 28 of table 1 of section 3(A) of Punjab Urban Planning and Development Building Rules, 2021.

(XII) COURTYARD :- (i) The minimum area of Inner Courtyard and Outer Courtyard- The minimum area of every closed or partially closed courtyard upon which habitable rooms shall not be less than 9 sq.m. (Nine square meters) and the minimum width of every such courtyard in any direction shall not be less than 2.4 meters or 1/5th of the average height of the building whichever is more and construction in back courtyard is not allowed.
Notwithstanding the provisions of (i), the clear width of the courtyard shall not be less than one-fifth of the mean height of the abutting building. For ventilation shafts, the size shall be as per rule no. 3 of Punjab Urban Planning and Development Building Rules, 2021.

(XIII) PARKING :-
2 nos. Two wheelers parking required upto 100 sq.m. residential plots
1 car and 2 nos. two wheelers parking required above 100 to 250 sq.m. residential plots
2 car and 2 nos. two wheelers parking required above 250 to 500 sq.m. residential plots
3 car and 2 nos. two wheelers parking required above 500 sq.m. residential plots

(XIV) BOUNDARY WALL & GATE :-
• In case of corner plot, radius of corner boundary wall shall be as shown on the drg.
• Gate post's shall be provided for display of postal no.'s of plots.
• The maximum height of front Boundary Wall shall have maximum height upto 0.9 m solid wall 0.9m high perforated grill/jalli .
• Side and rear: upto 1.83m.

(XV) SIDE ENTRY :-
• No side entry in the main building shall be allowed.
• No side / back gate shall be allowed where the public open space separating the plot & road reservation.

(XVI) PROVISION OF STAIR CASES/STAIR CASE REQUIREMENT :- The provisions shall be as per the serial no. 11 of Rule no. 30 of Punjab Urban Planning and Development Building Rules, 2021 . The minimum clear width, minimum tread, maximum riser, and Head room height for staircase shall be as per serial no. 12 of table 1 of section 3(A) of Punjab Urban Planning and Development Building Rules, 2021.

(XVII) PROVISION OF LIFT :- The provisions of lift shall be as per National Building code of India, 2016.

(XVIII) PROVISION OF CORRIDOR :- The provision of corridor shall be as per the serial no. 29 of table no. 1 of section 3(A) of Punjab Urban Planning and Development Building Rules, 2021

(XIX) BUILDING COMPONENTS :- The provision of minimum requirements of different components of a building shall be as per serial no. 7 of table 1 of section 3(A) of Punjab Urban Planning and Development Building Rules, 2021 .

(XX) 11.1 SINKING SYSTEM :- Provision of dual button type flushing cisterns in each water closet is mandatory

(XXI) SET BACK OF PROJECTED PORTION OF ROOF LEVEL :- The projected portion of parapet, flues, ducts, water storage tanks, mummies, minarets, domes, water cooling tanks, lift rooms exceeding 2.75 meters in height shall be recessed from the facade by a minimum distance equal to their height above roof level, failing which these shall be counted in calculating the height as well as covered area of the building.

(XXII) EXTRACTION OF GROUND WATER RESOURCES :- The ground water shall not be withdrawn without approval from the Competent Authority and as per notification issued vide Memo no.PUDA.CA/2013/1713-16 dated 27.02.2013; the underground water for construction of development works in the notified areas shall not be used.

NOTE:- Front & rear setback of the As per site plots shall be maintained as per the zoning line falling in the block.

GENERAL RULES:-
a) Copyright (C) Department of Town and Country Planning Punjab.
b) This drawing/zoning plan is the property of Town and Country Planning Punjab and should not be traced, altered & modified without prior approval of the department.

c) The provisions of Fire Protection, Building Materials, Electrical and allied Installation Shall Be As Per Rules 31, 32, 34 and 35 of Part VII of Punjab Urban Planning and Development Building Rules, 2021.

d) The provision of ground building and sustainability shall be as per Table B of Rule 37 of Punjab Urban Planning and Development Building Rules, 2021.

e) The provision of energy efficiency shall be as per Rule 38 of Punjab Urban Planning and Development Building Rules, 2021.

f) The provision of tree plantation in new building sites shall be as per Rule 39 of Punjab Urban Planning and Development Building Rules, 2021.

g) The provision of solar photovoltaic installation and solar water heating system shall be as per serial no. 25 & 26 of table 1 of section 3(A) of Punjab Urban Planning and Development Building Rules, 2021.

h) The provision of Rain Water Harvesting shall be as per Rule 40 of Punjab Urban Planning and Development Building Rules, 2021.

i) The provision of Sustainable Waste Management shall be as per Rule 41 of Punjab Urban Planning and Development Building Rules, 2021.

j) For any item not covered in the zoning plan shall be governed by Punjab Urban Planning and Development Building Rules, 2021.

k) No trees shall be cut without prior approval from Competent Authority.

l) The zoning plan of commercial pockets and PPCB shall be got approved separately from Competent Authority.

m) Environment and condition for buildings and construction should be as per Annexure-14 Category 'I' of Punjab Urban Planning and Development Building Rules, 2021.

Note:-
1. THIS ZONING PLAN IS BASED ON LAYOUT PLAN APPROVED IN THE 64TH MEETING OF THE LAYOUT PLAN APPROVAL COMMITTEE OF OUVGL SCHEME HELD ON 06.05.2019 UNDER THE CHAIRMANSHIP OF CHIEF ADMINISTRATOR, PUDA, S.A.S. NAGAR.
2. THIS ZONING PLAN IS BASED ON THE REVISED LAYOUT CUM NUMBERING PLAN DRS.NO.3716/2019 DATED. 18.03.2019/25.04.2019/02.05.2019.
3. THIS ZONING PLAN IS ALSO BASED ON UNIFORM ZONING PLAN FOR RESIDENTIAL PLOTS ISSUED BY CHIEF TOWN PLANNER (PB), VIDE LETTER NO. 2910-42 CTP(PB)/SP-28 DATED: 17-8-2020.

DEPARTMENT OF TOWN & COUNTRY PLANNING, PUNJAB

Scale : 1"=80'-0"

Drawing No. DTP(P) - 3746 / 2020 DATED: 15.01.2020/20.10.2020/7.6.2021/11.11.2021/25.07.2022

DRAWN BY :- [Signature] CHECKED BY :- [Signature]

PLANNING OFFICER [Signature]

ASSISTANT TOWN PLANNER, PATIALA [Signature] DISTRICT TOWN PLANNER, PATIALA [Signature] SENIOR TOWN PLANNER, PATIALA [Signature]